

STATEMENT OF THE PLAN PROPOSAL

- PART-A: 1. ASSESSE NO: Z1089600287
2. a) DETAIL OF REGISTERED DEED: BOOK NO. 1, VOL. NO. 22, BEING NO. 598, YEAR - 1970, PLACE - A.R.A. I I KOLKATA
3. DETAIL OF POWER OF ATTORNEY: BOOK NO. 1, VOL. NO. 1605-2016, BEING NO. 160503763, YEAR - 2016, PLACE - A.R.A. I I KOLKATA
4. DETAIL OF BOUNDARY DECLARATION: BOOK NO. 1, VOL. NO. 1605-2016, BEING NO. 160507668, YEAR - 2016, PLACE: A.D.S.R. ALPURNE
5. a) AREA OF LAND (AS PER BTL/DEED): 13K-00 CH - 19 SQ.FT. = 871.330 SQ.M.
b) AREA OF LAND (AS PER BOUNDARY): 12K-14 CH - 25 SQ.FT. = 863.531 SQ.M.
c) ROAD WIDTH: 13K-14 CH - 25 SQ.FT. = 810
d) (i) PERMISSIBLE GROUND COVERAGE (50.00%) = 431.765 SQ.M.
(ii) PROPOSED GROUND COVERAGE (38.40%) = 331.615 SQ.M.
7. PROPOSED HEIGHT = 25.300 SQ.M.

Table with columns: FLOOR, COVERED AREA, NET WELL ELECTRICTY STAR WELL AREA, ENCLUSTRED GROSS LABEL, METRE/DOR, AREA. Rows include GROUND FL, 1ST FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR, 5TH FLOOR, 6TH FLOOR, 7TH FLOOR, TOTAL.

Table with columns: MARKED, TENEMENT SIZE, PREPARATION, TOTAL AREA, TENEMENT, RESOURCES. Rows include 1A, 1B, 1C, 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z, TOTAL.

100 HERBY CERTIFY THAT THE ABOVE STATED BUILDING ON PLOT NO. 174 N.S.C. BOSE ROAD, KOLKATA, WEST BENGAL, INDIA, HAS BEEN SUPERVISED BY ME AND HAS BEEN COMPLETED IN ACCORDANCE WITH THE B.S. PLAN NO. 2017100200 DATED 03-05-2017...

SPECIFICATIONS: R.C.C. FRAME STRUCTURE WITH CONC. GRADE - 1:1.5; 1.4 CEMENT PORTLAND CEMENT; CAST-INSITU MOSAIC FLOORING; WATER PROOFING TREATMENT; P.O.P. FINISH ON INTERNAL WALLS & CEILING.

DECLARATION OF ARCHITECT: I HEREBY CERTIFY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER THE B.S. PLAN NO. 2017100200 DATED 03-05-2017...

DECLARATION OF ARCHITECT: I HEREBY CERTIFY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER THE B.S. PLAN NO. 2017100200 DATED 03-05-2017...

COMPLETION PLAN FOR: G - VII STOREY RESIDENTIAL BUILDING OF HEIGHT 25.300 MT. AT PREMISES NO. 174 N.S.C. BOSE ROAD, WARD - 95, BR - X, KOLKATA - 700040, P.S. - RECIDENT PARK, SANCTIONED VIDE B.S. PLAN NO. 2017100200 DT. 03 - 05 - 2017 SUBSEQUENTLY REGULARIZED UNDER U.S. RULE 26 (2a & 2b) APPROVED BY D.G.(B) ON 04-07-2019.

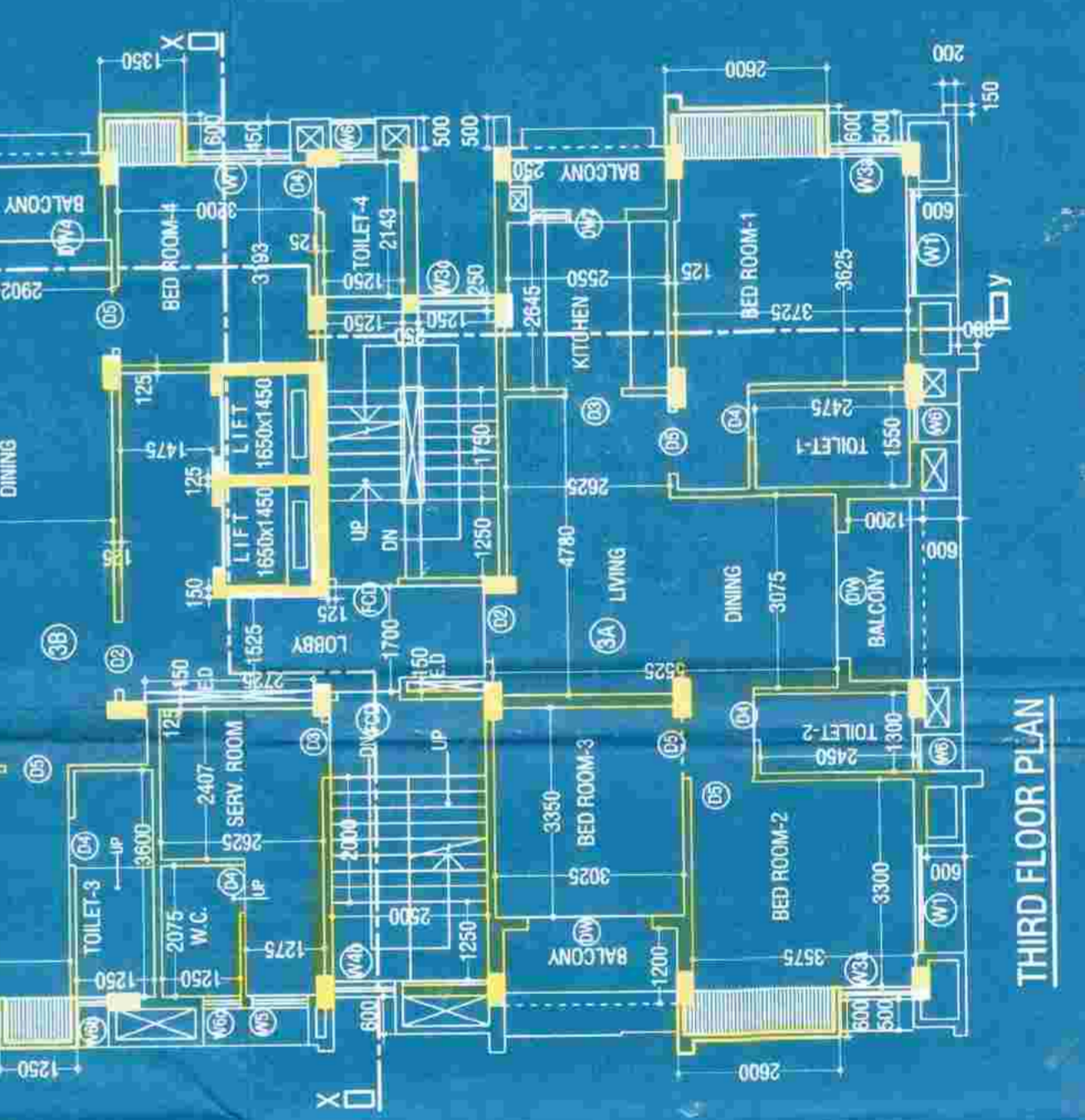
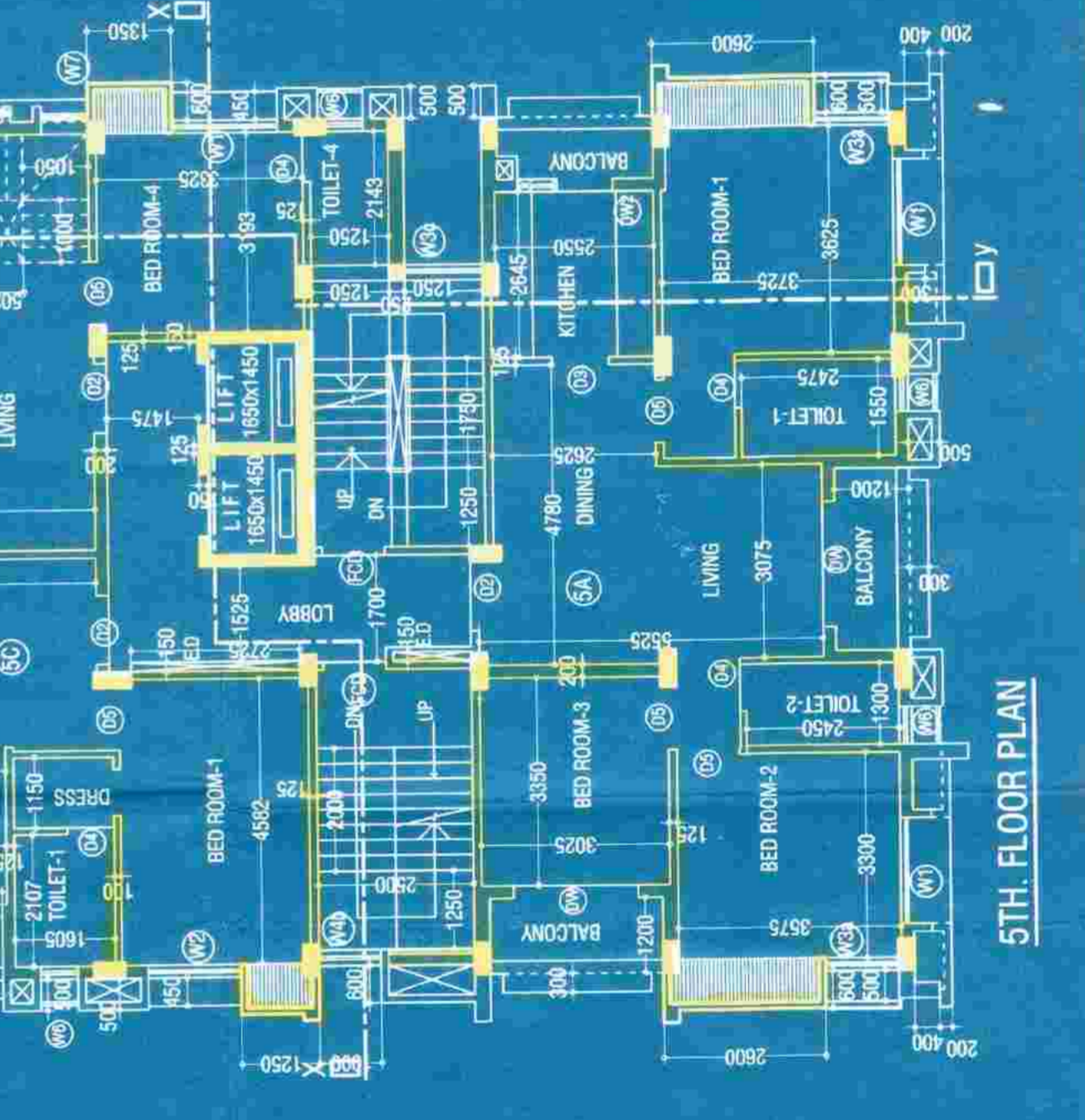
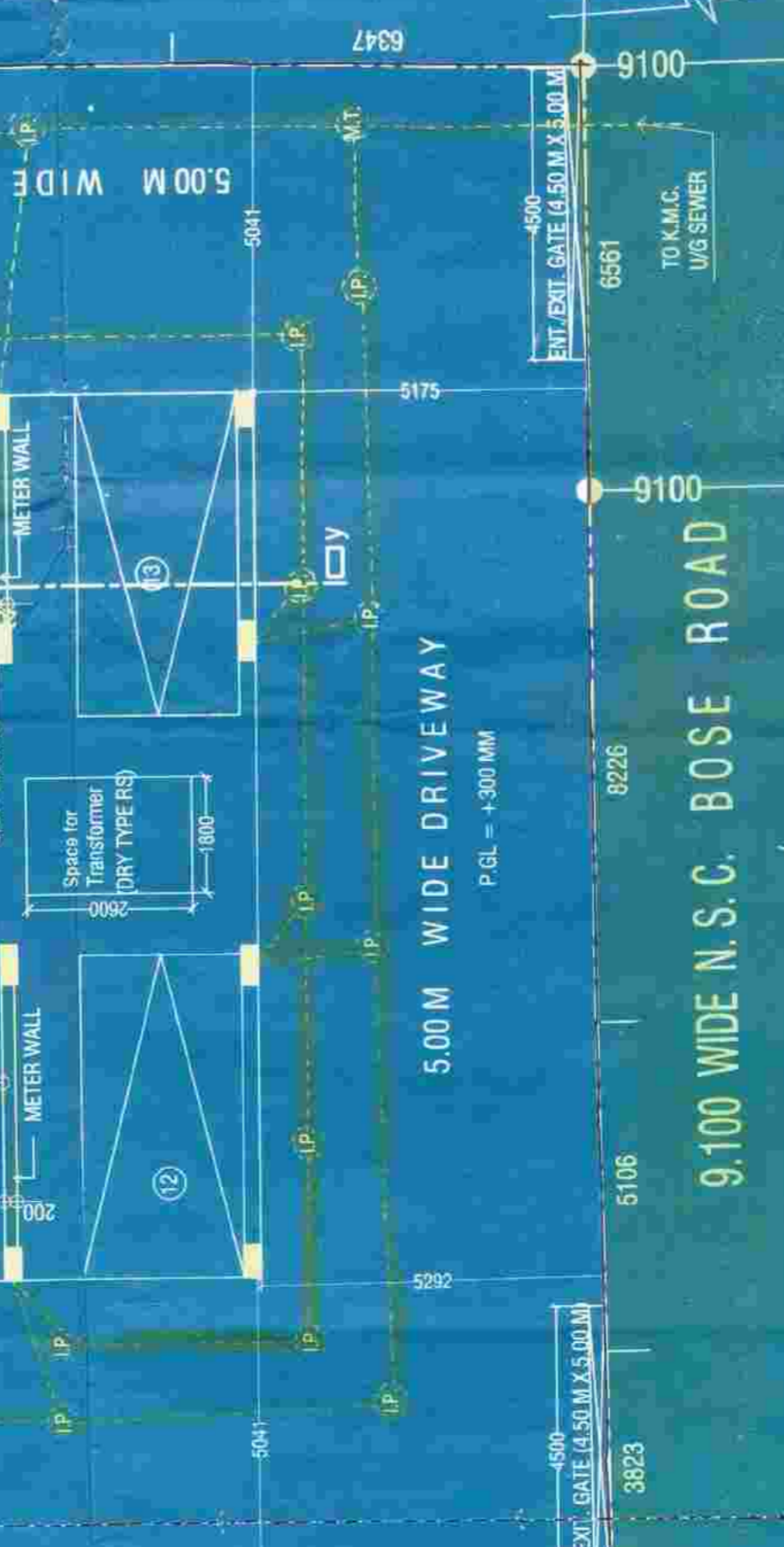
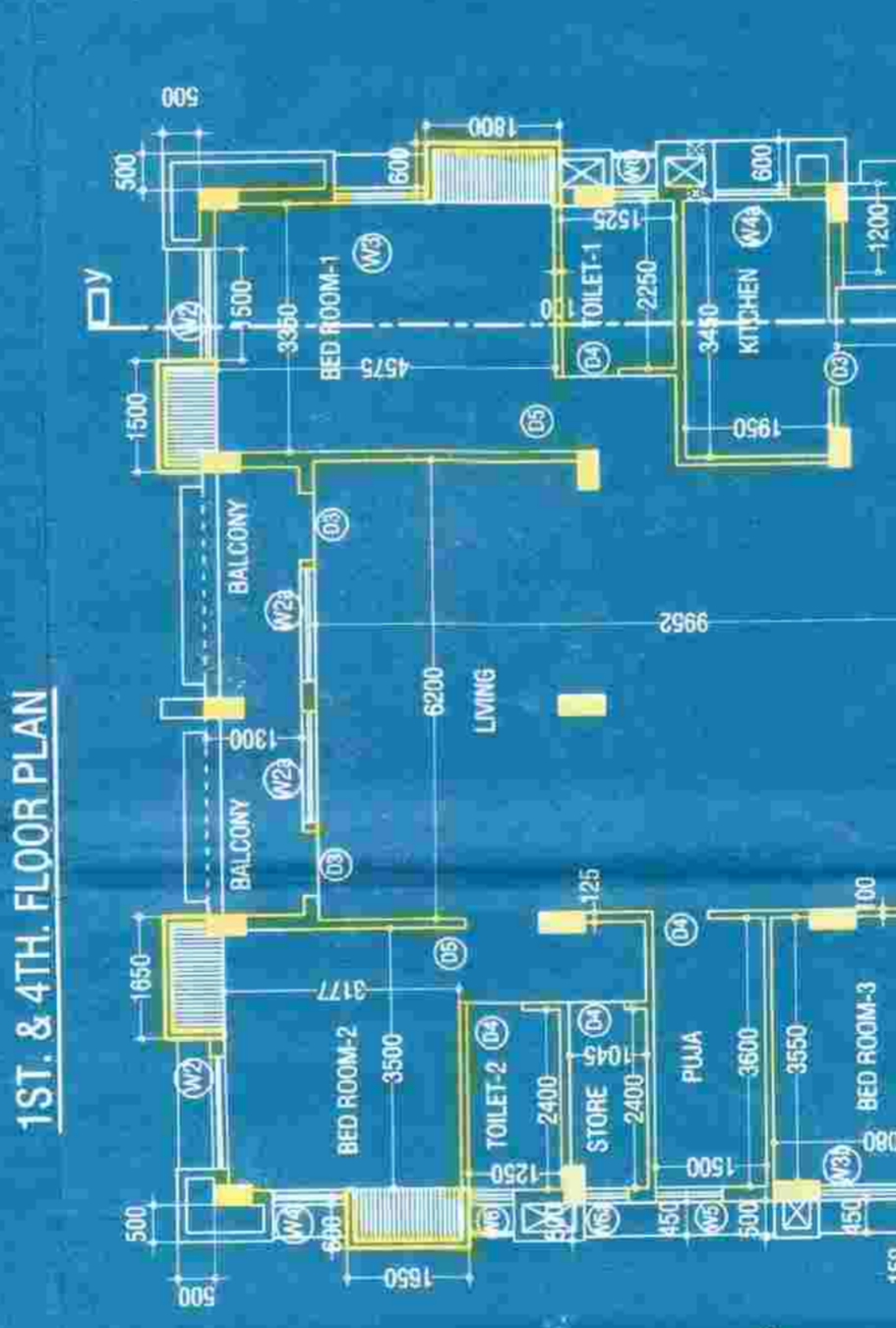
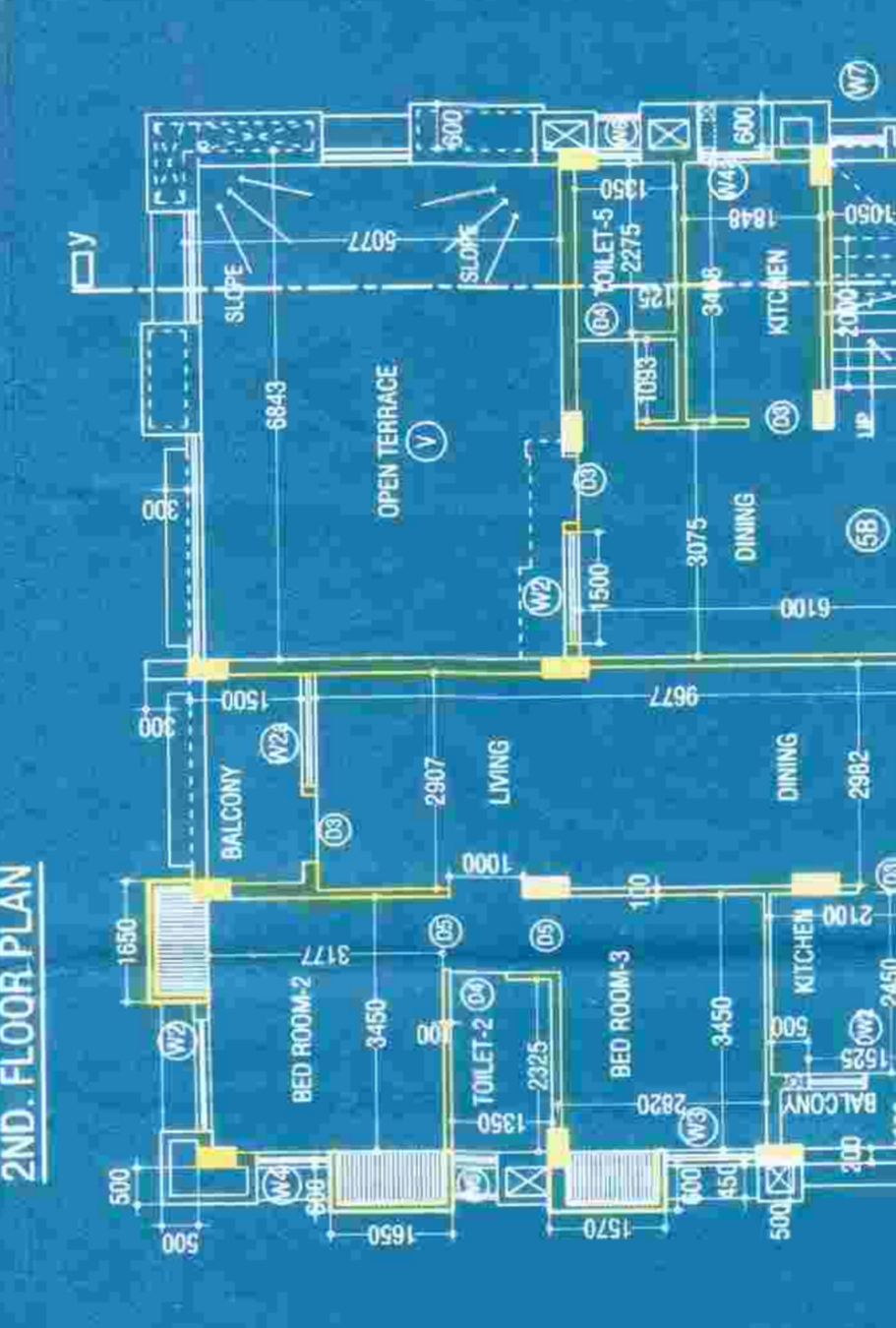
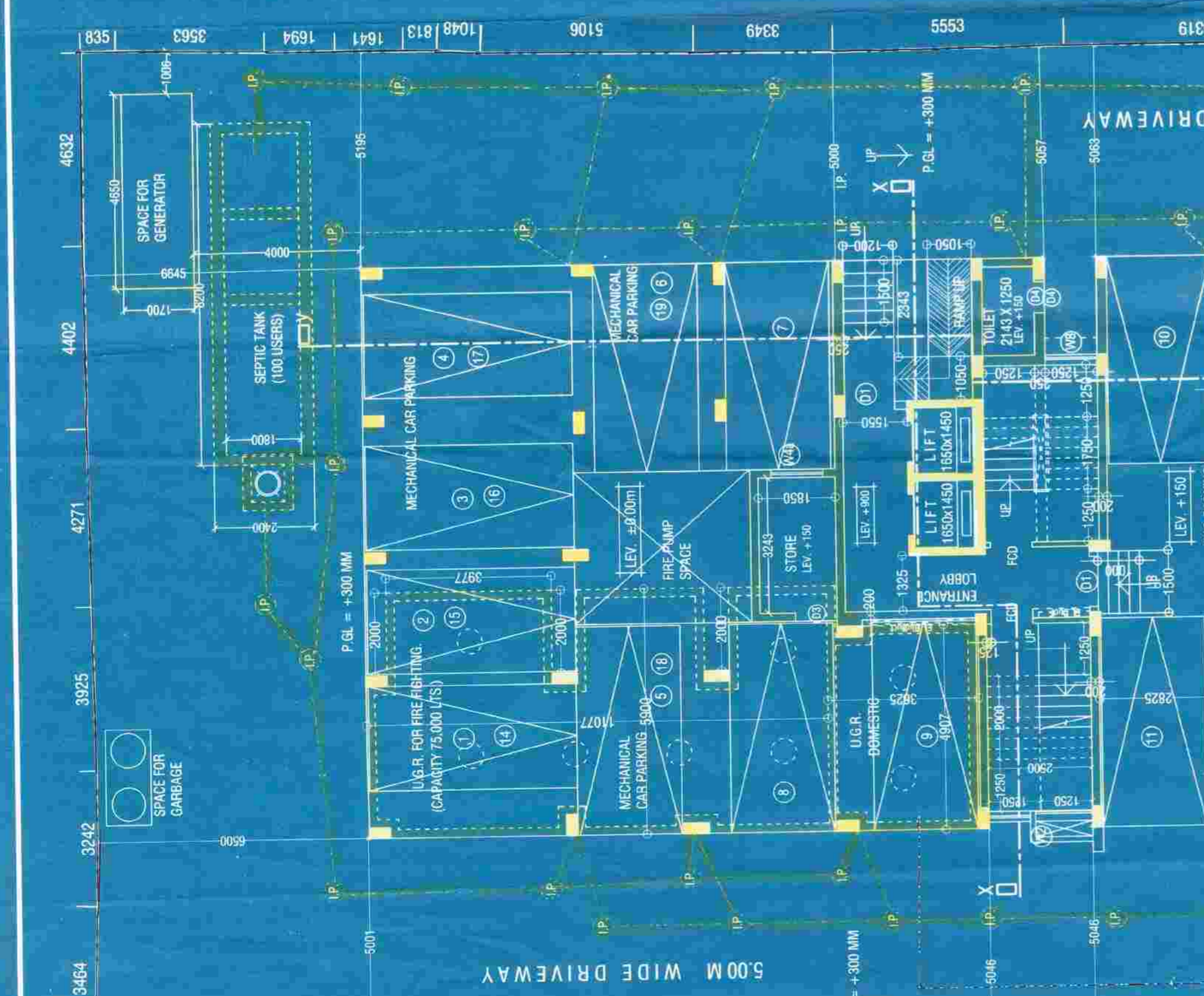
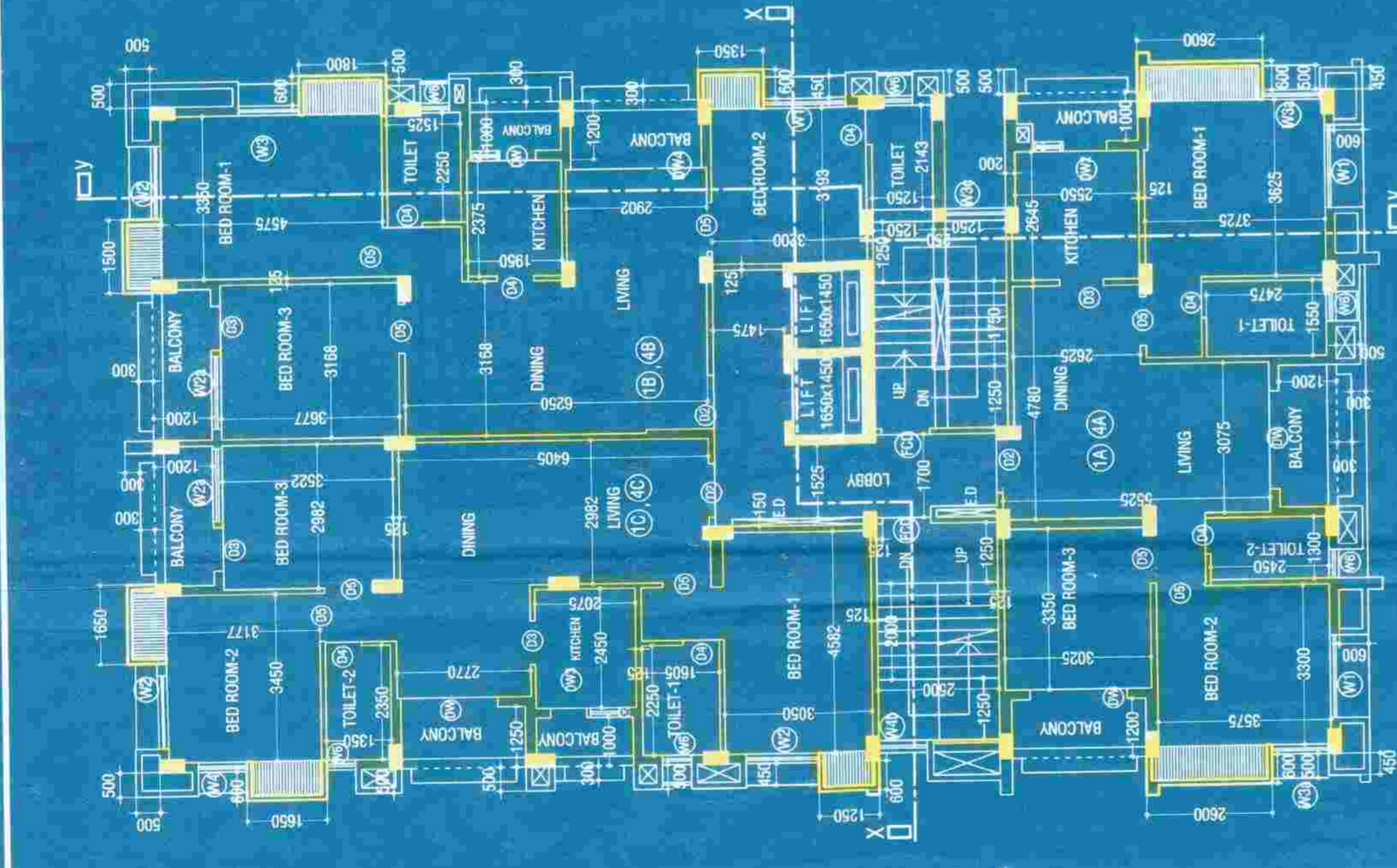
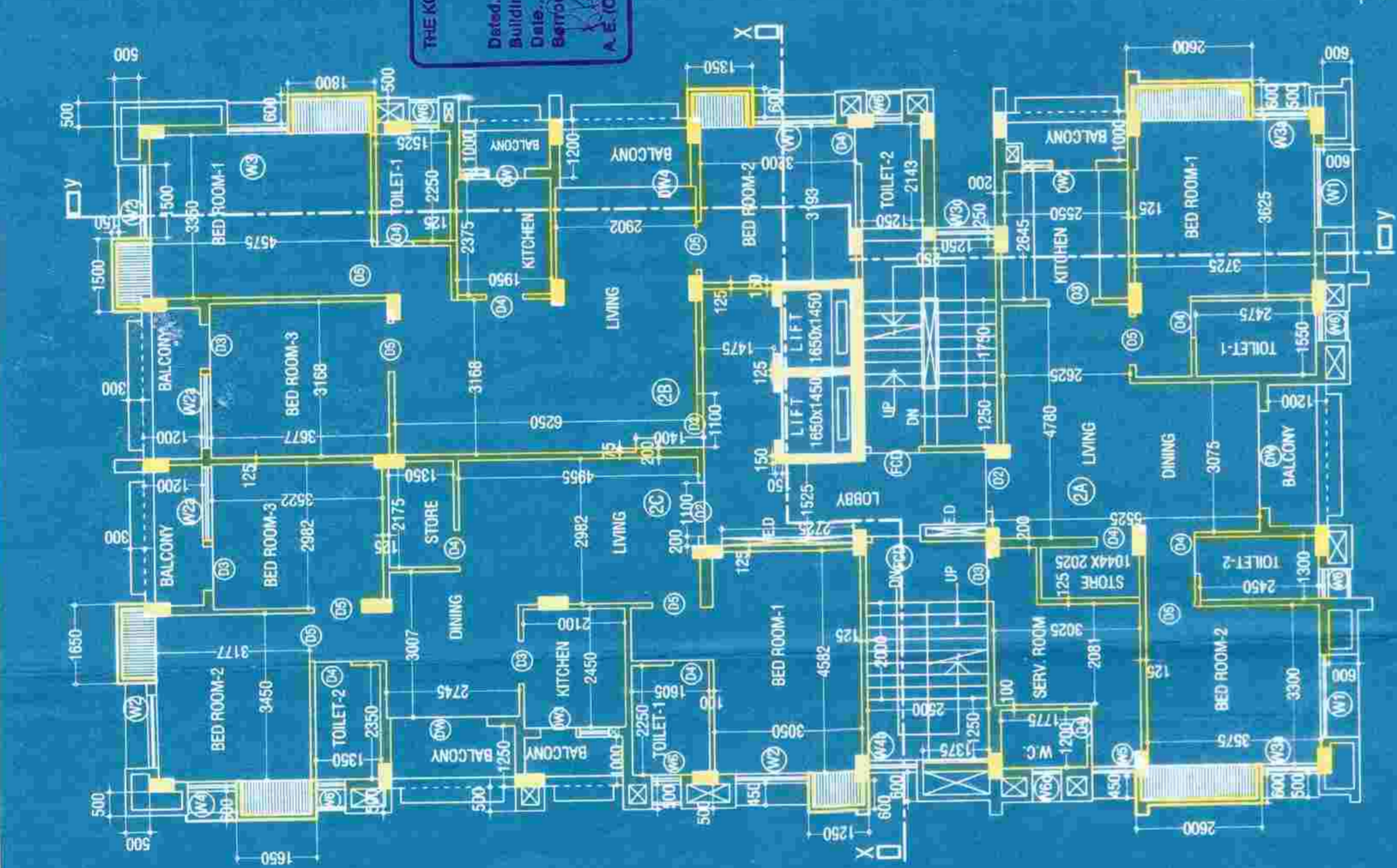


CERTIFICATE OF GEO-TECHNICAL ENGINEER: IT IS CERTIFIED THAT THE COMPREHENSIVE GEO-TECHNICAL REPORT ON SOIL INVESTIGATION HAS BEEN PREPARED BY ME FOR DESIGN AND CALCULATION OF THE FOUNDATION...

DR. SUJIT KUMAR BOSE, M.E.S., M.T.E., M.T.P., M.T.S., M.T.A. Geotechnical Engineer (Category-I) under R.R.T. License No. GE/01/1504/2016.

THE KOLKATA MUNICIPAL CORPORATION Building Deptt. Completion Plans Building Permit No. 2017/2016/1504/2016. Date: 22/07/2019. Borough No. 10.

BOSE ENGINEERS, 74/1, SULTAN ALAM ROAD, KOL-33. SIGNATURE OF GEO-TECHNICAL ENGINEER



WINDOW SCHEDULE table with columns: TYPE, WIDTH, HT., TYPE, WIDTH, HT. Rows include W1 through W7.

STATEMENT OF THE PLAN PROPOSAL: 68. TOTAL REQUIRED CAR PARKING - 19 NOS. 69. TOTAL PROVIDED CAR PARKING - 19 NOS. 70. PERMISSIBLE AREA OF PARKING = 450.0 SQ.M. 71. AREA OF LOT = 871.330 SQ.M. 72. TOTAL AREA = 1776.83 SQ.M.

100 HERBY CERTIFY THAT THE ABOVE STATED BUILDING ON PLOT NO. 174 N.S.C. BOSE ROAD, KOLKATA, WEST BENGAL, INDIA, HAS BEEN SUPERVISED BY ME AND HAS BEEN COMPLETED IN ACCORDANCE WITH THE B.S. PLAN NO. 2017100200 DATED 03-05-2017...

DECLARATION OF ARCHITECT: I HEREBY CERTIFY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER THE B.S. PLAN NO. 2017100200 DATED 03-05-2017...

DECLARATION OF ARCHITECT: I HEREBY CERTIFY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER THE B.S. PLAN NO. 2017100200 DATED 03-05-2017...

**PARTY'S COPY**

Approved by D.O./Sdg. dated 19-7-2019.

THE KOLKATA MUNICIPAL CORPORATION  
BUILDING DEPTT.  
COMPLETION PLANS  
Dated... 19.7.2019  
Building Permit No. 2019/1826/22  
Date... 19.7.2019  
Block No. 1826/22  
A. E. (C) Br. No. ... E. E. (C) Br. No. ...

This Plan Is To Be Treated As Part  
And Parcel And Contiguous To  
B. S. Plan No. 2019/1826/22  
Dated 19.7.2019  
By: [Signature]  
Exec. Engineer (C.B)  
Bcr No. 5

Office of the  
Executive Engineer, Br.-X  
The Kolkata Municipal Corp.,  
Building Department, Br.-X  
Date: 28/7/2019  
By: [Signature]